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**Seal/Signature**

**Date**

09/21/2017

**Project Name**

2100  
PENNSYLVANIA  
AVENUE NW

**Project Number**

A1613

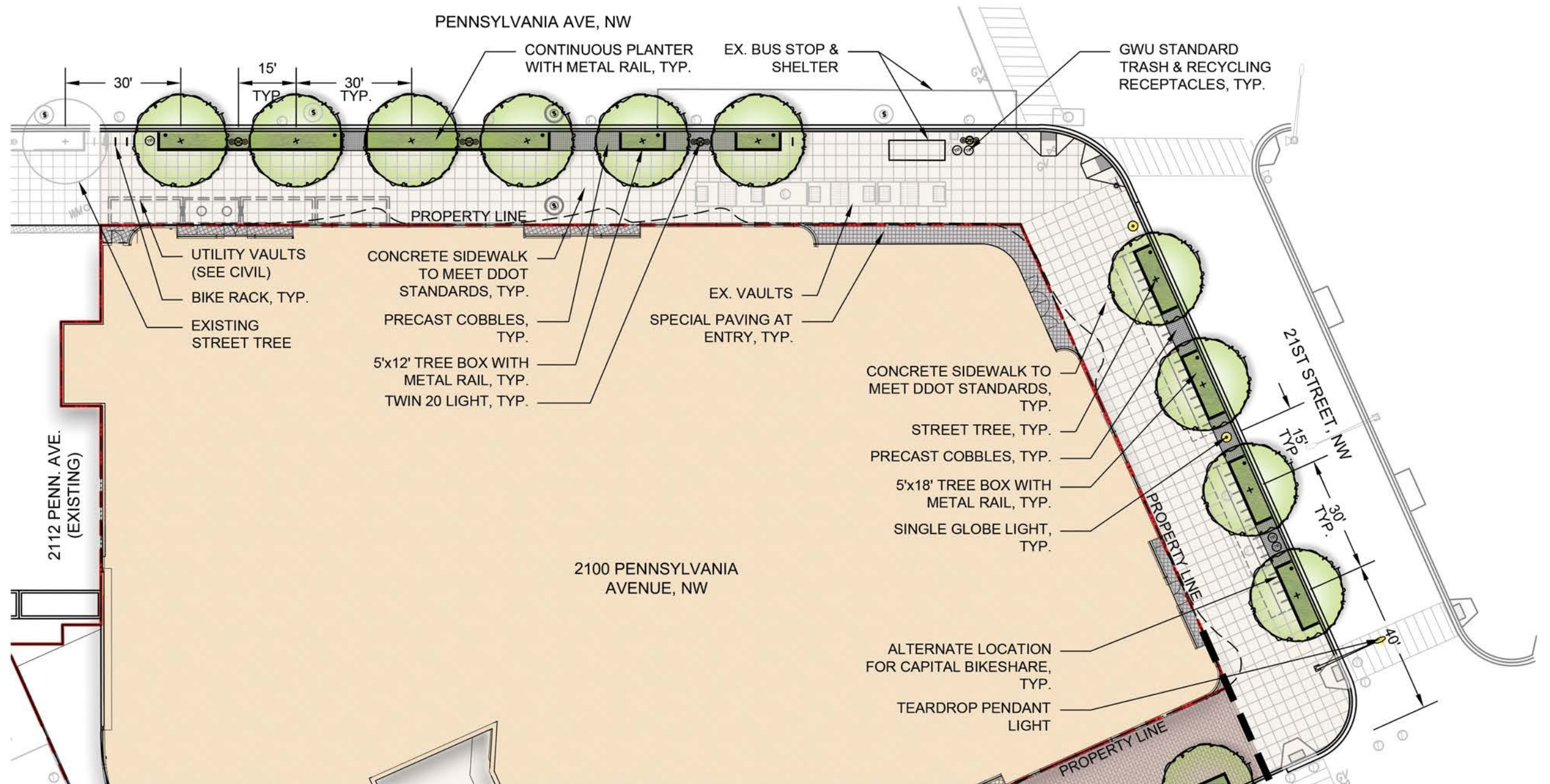
**Description**

PENN AVE SITE  
PLAN

**Scale**

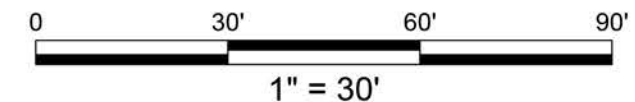
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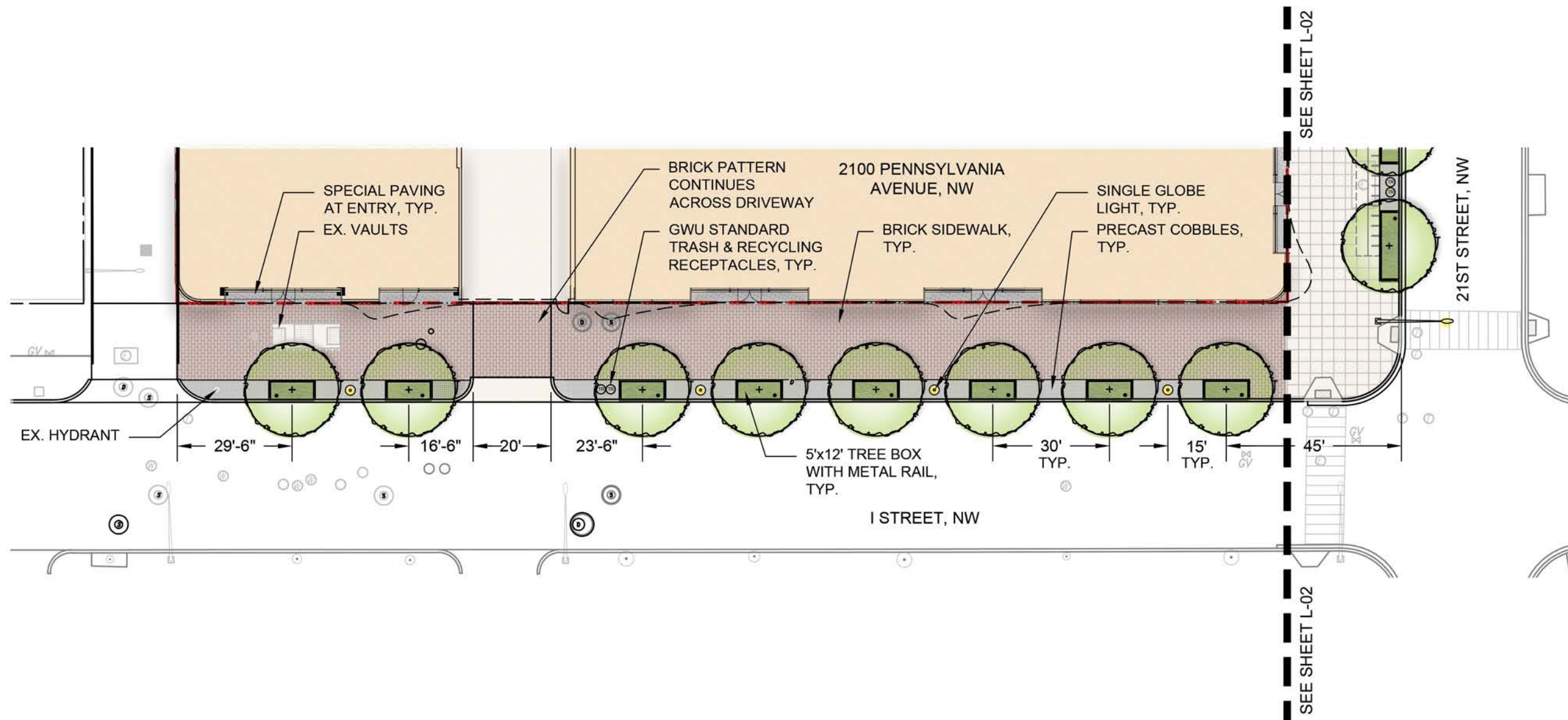
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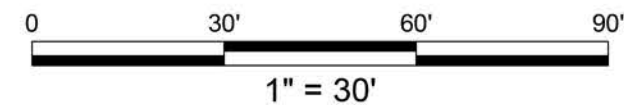
1. STREETScape INFORMATION IS SHOWN IN CONCEPT FOR ILLUSTRATIVE PURPOSES. APPLICANT REQUESTS FLEXIBILITY TO VARY THE FINAL STREETScape DESIGN TO CONFORM WITH APPLICABLE DESIGN AND PERMITTING STANDARDS, INCLUDING THE FOGGY BOTTOM STREETScape PLAN STANDARDS.





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**I STREET SITE PLAN**

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I STREET SITE PLAN

**Scale**

**L-03**

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Description

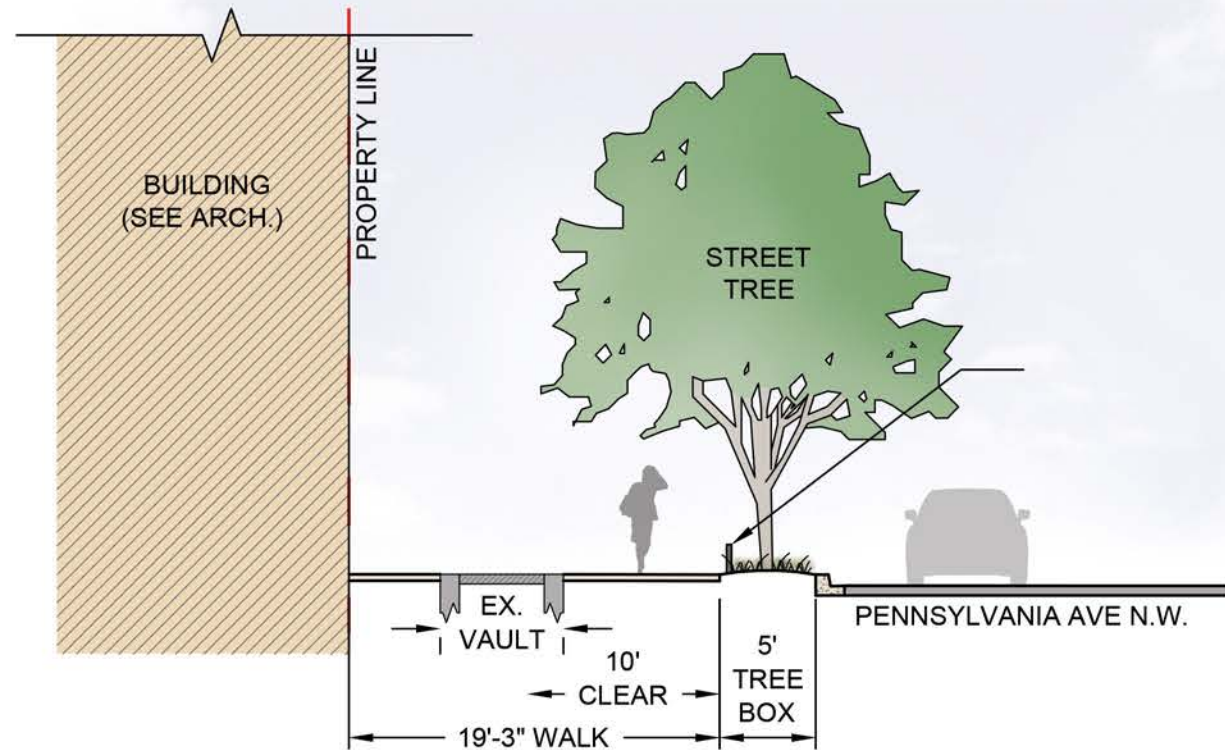
SITE SECTIONS

Scale

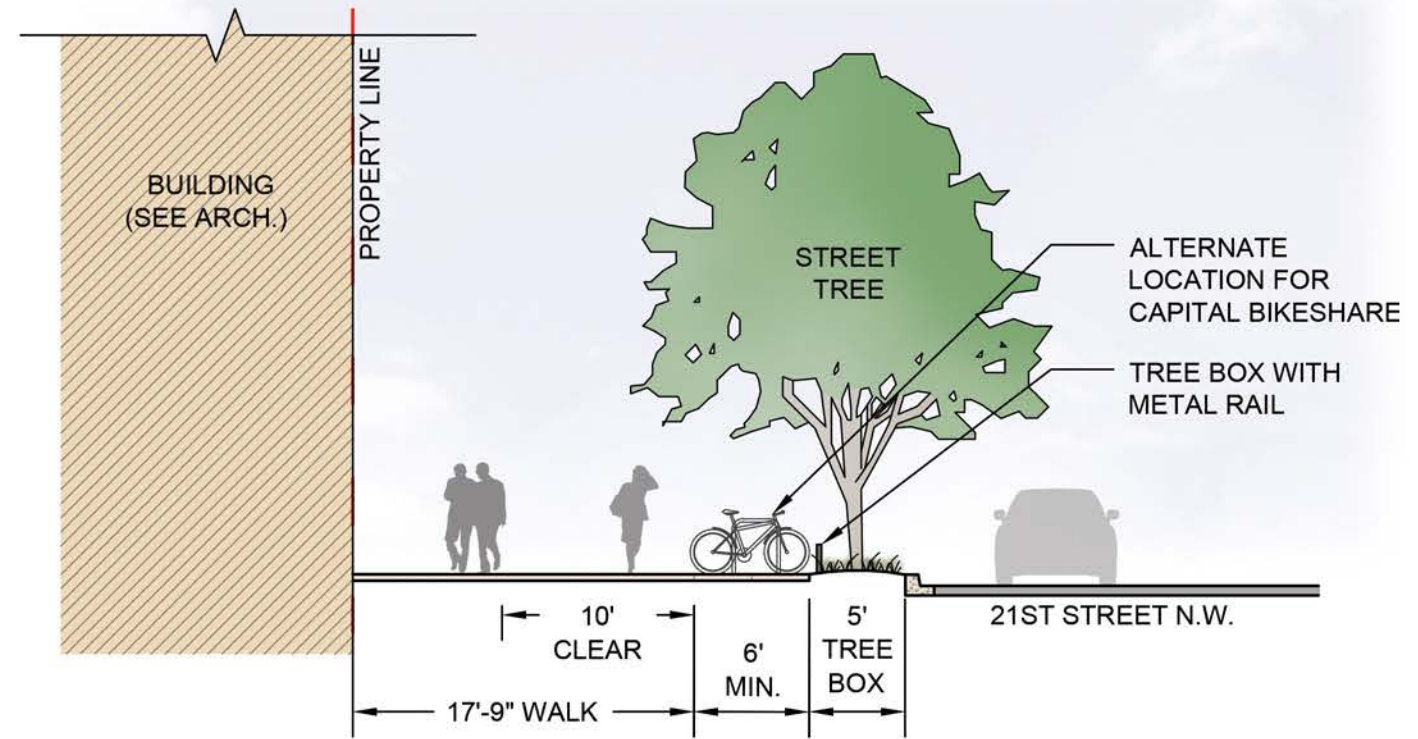
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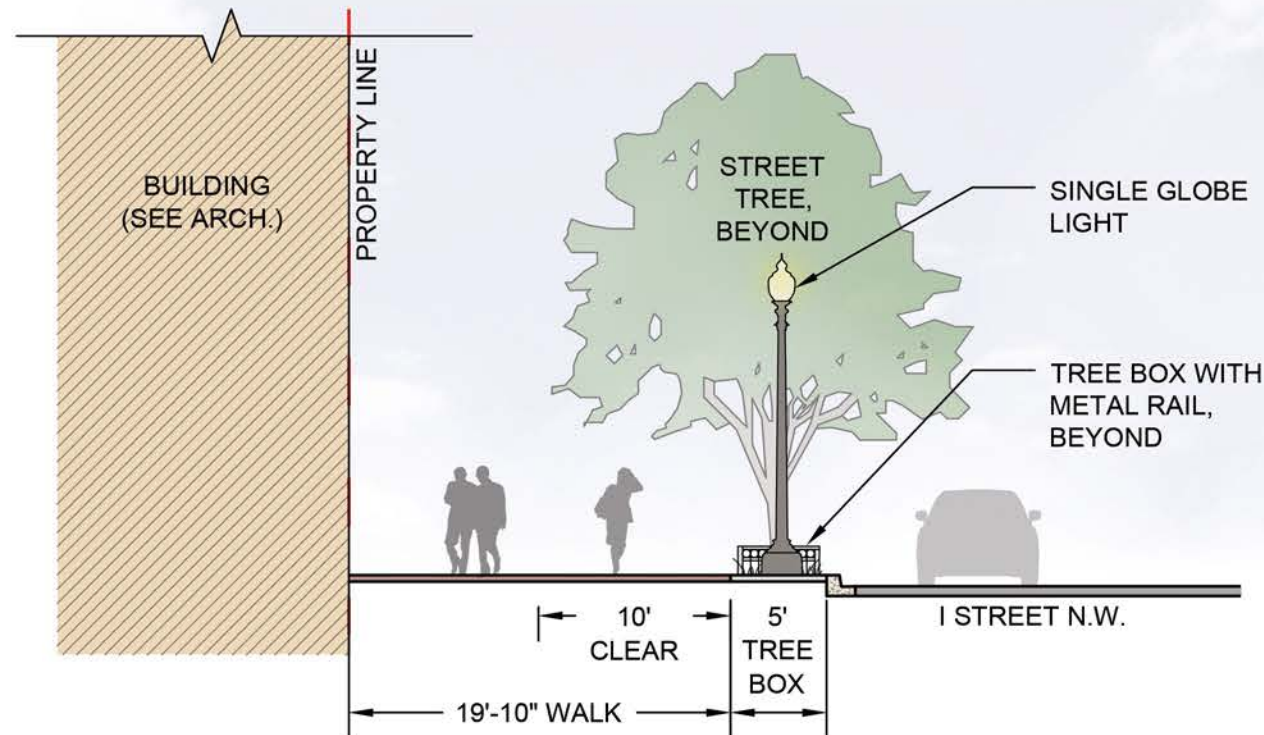
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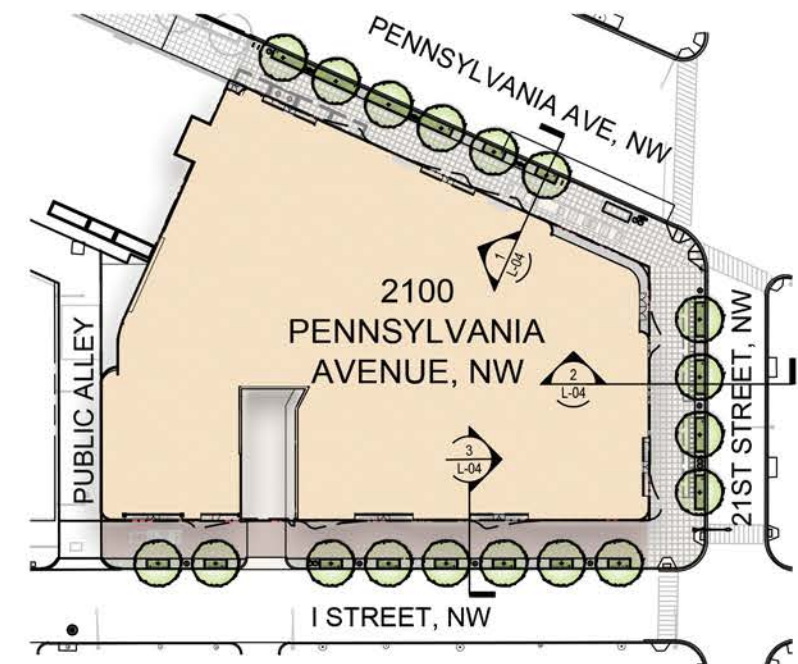
**1** STREETScape SECTION  
PENNSYLVANIA AVE N.W.  
SCALE: 1" = 10' - 0"



**2** STREETScape SECTION  
21ST STREET N.W.  
SCALE: 1" = 10' - 0"



**3** STREETScape SECTION  
I STREET N.W.  
SCALE: 1" = 10' - 0"



0 100' 200' 300'

1" = 100'

0 10' 20' 30'

1" = 10'



**SITE SECTIONS**



TEARDROP PENDANT LIGHT



TWIN 20 LIGHT



SINGLE GLOBE LIGHT



STREET TREES



GWU STANDARD TRASH RECEPTACLES



SPECIAL PAVING



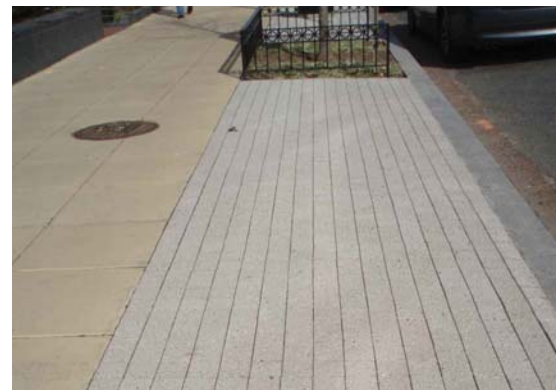
SCORED CONCRETE PAVING



TREE PIT FENCE



BIKE RACK



COBBLE PAVERS



BRICK SIDEWALK

# STREETSCAPE PRECEDENT IMAGES

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## Project Number

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## Description

STREETSCAPE PRECEDENT IMAGES

## Scale

L-05

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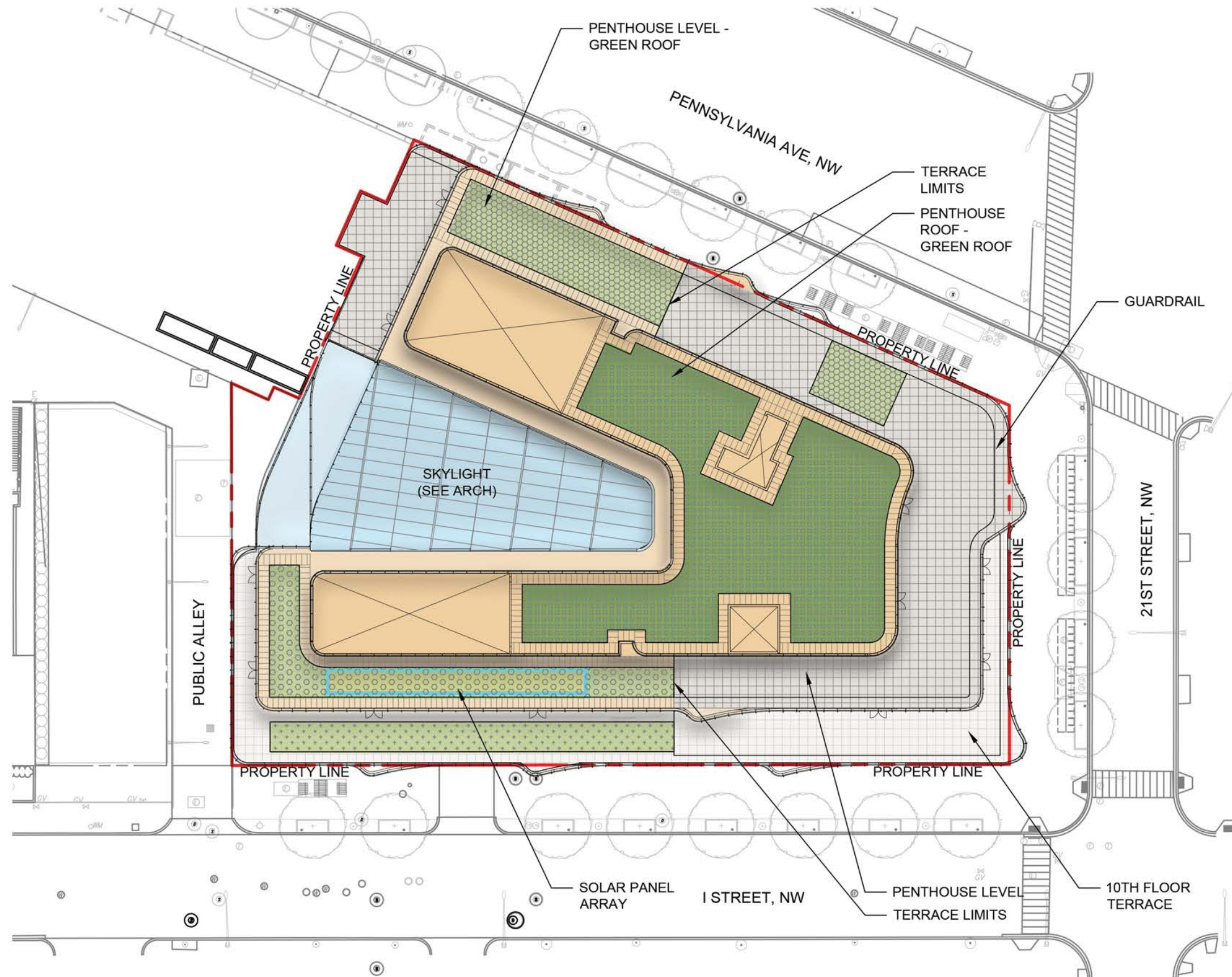
**Description**

ROOF LANDSCAPE  
PLAN

**Scale**

L-06

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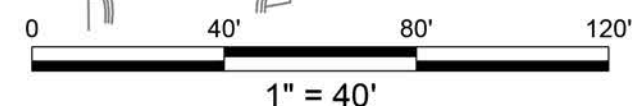


**NOTES:**

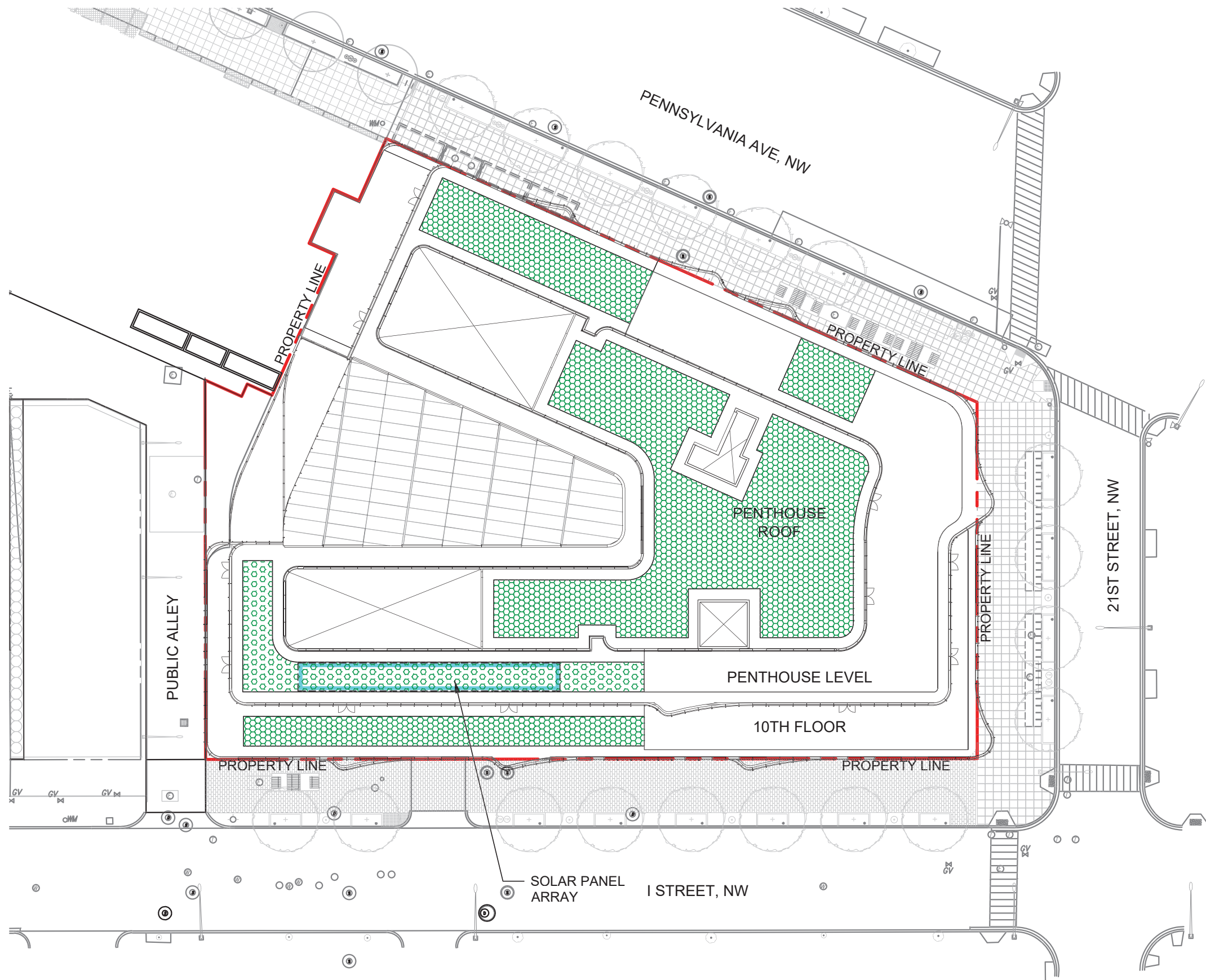
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2. EXACT LOCATION OF GREEN ROOF IS SUBJECT TO CHANGE AS DESIGN DEVELOPS.

3. SOLAR PANELS (1,000 SQUARE FEET OF ARRAY) OVER GREEN ROOF ON PENTHOUSE ROOF LAYOUT AND INSTALLATION TO BE FINALIZED TO ALLOW GREEN ROOF TO FLOURISH.



**ROOF LANDSCAPE PLAN**



**NOTES:**

1. SUBJECT SITE IS TO BE ZONED MU-30 + MU-9 (C-4) AND REQUIRES A GREEN AREA RATIO (GAR) SCORE OF 0.20.

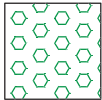
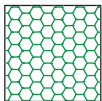
2. THE PROJECT WILL COMPLY WITH THE REQUIRED GAR SCORE FOR THE SITE. AS THE PROJECT IS DEVELOPED THROUGH ALL DESIGN PHASES, ACTUAL MEANS FOR ACHIEVING THE SCORE MAY VARY & EVOLVE. THE LANDSCAPE ELEMENTS ON THIS SHEET & OTHER LANDSCAPE ELEMENTS WILL BE APPLIED AS NEEDED TO ACHIEVE THE REQUIRED SCORE.

3. THE CURRENT DESIGN SHOWS POTENTIAL AREAS OF LANDSCAPING AND L.I.D. TECHNIQUES TO ACHIEVE FINAL GAR SCORE. AREAS ONLY WITHIN THE APPLICABLE LOT LINES WILL BE APPLIED TO THE GAR SCORE. THE DESIGN, LAYOUT AND SQUARE FOOTAGES OF THESE AREAS ARE TO BE FINALIZED AS OVERALL DESIGN DEVELOPS.

4. PROPOSED GREEN ROOF IS TO BE COUNTED TOWARDS THE FINAL GAR SCORE. FINAL LOCATIONS, QUANTITIES AND SPECIES ARE TO BE DETERMINED AS DESIGN DEVELOPS.

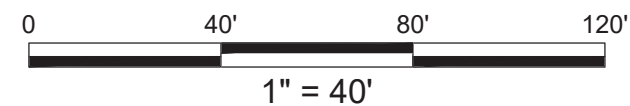
3. SOLAR PANELS (1,000 SQUARE FEET OF ARRAY) OVER GREEN ROOF ON PENTHOUSE ROOF LAYOUT AND INSTALLATION TO BE FINALIZED TO ALLOW GREEN ROOF TO FLOURISH.

**LEGEND:**

-  EXTENSIVE GREEN ROOF (MIN. 2" SOIL MEDIA)
-  INTENSIVE GREEN ROOF (MIN. 8" SOIL MEDIA)

**GREEN AREA RATIO:**

SUBJECT SITE ZONING: MU-30 + MU-9 (C-4)  
REQUIRED GAR SCORE: 0.20



**GREEN AREA RATIO PLAN**

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**Description**

GREEN AREA RATIO PLAN

**Scale**

**L-07**

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**Description**

GREEN AREA RATIO  
SCORESHEET

**Scale**

L-08

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Green Area Ratio Scoresheet			
Ward	Lot	Square Footage	Zoning District
2	50-51	75	MU-9/MU-30
enter sq ft of lot		multipl	SCORE
50,780			0.215
Address: 2100 Pennsylvania Avenue NW		Square ft.	Factor
Other / BZA Order / GAR required is 0.20		Lot size (enter this value first) *	
<b>Landscape Elements</b>			
<b>A Landscaped areas (select one of the following for each area)</b>			
1	Landscaped areas with a soil depth of less than 24"	enter sq ft	0.3
2	Landscaped areas with a soil depth of 24" or greater	enter sq ft	0.6
3	Bioretention facilities	enter sq ft	0.4
<b>B Plantings (credit for plants in landscaped areas from Section A)</b>			
1	Groundcovers, or other plants less than 2' tall at maturity	enter sq ft	0.2
2	Plants, not including grasses, 2' or taller at maturity - calculated at 9 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants	0.3
3	Tree canopy for all trees 2.5" to 6" diameter or equivalent - calculated at 50 sq ft per tree	enter number of trees	0.5
4	Tree canopy for new trees 6" diameter or larger or equivalent - calculated at 250 sq ft per tree	enter number of trees	0.6
5	Tree canopy for preservation of existing tree 6" to 12" diameter or larger or equivalent - calculated at 250 sq ft per tree	enter number of trees	0.7
6	Tree canopy for preservation of existing tree 12" to 18" diameter or larger or equivalent - calculated at 600 sq ft per tree	enter number of trees	0.7
7	Tree canopy for preservation of all existing trees 18" to 24" dia. or equivalent - calculated at 1300 sq ft per tree	enter number of trees	0.7
8	Tree canopy for preservation of all existing trees 24" diameter or larger or equivalent - calculated at 2000 sq ft per tree	enter number of trees	0.8
9	Vegetated wall, plantings on a vertical surface	enter sq ft	0.6
<b>C Vegetated or "green" roofs</b>			
1	Over at least 2" and less than 8" of growth medium	enter sq ft	0.6
2	Over at least 8" of growth medium	enter sq ft	0.8
<b>D Permeable Paving***</b>			
1	Permeable paving over at least 6" and less than 24" of soil or gravel	enter sq ft	0.4
2	Permeable paving over at least 24" of soil or gravel	enter sq ft	0.5
<b>E Other</b>			
1	Enhanced tree growth systems***	enter sq ft	0.4
2	Renewable energy generation	enter sq ft	0.5
3	Approved water features	enter sq ft	0.2
<b>H Bonuses</b>			
sub-total of sq ft = 14,525			
1	Native plant species	enter sq ft	0.1
2	Landscaping in food cultivation	enter sq ft	0.1
3	Harvested stormwater irrigation	enter sq ft	0.1
Green Area Ratio numerator = 10,908			
Total square footage of all permeable paving and enhanced tree growth			

\*\*\* Permeable paving and structural soil together may not qualify for more than one third of the Green Area Ratio score.