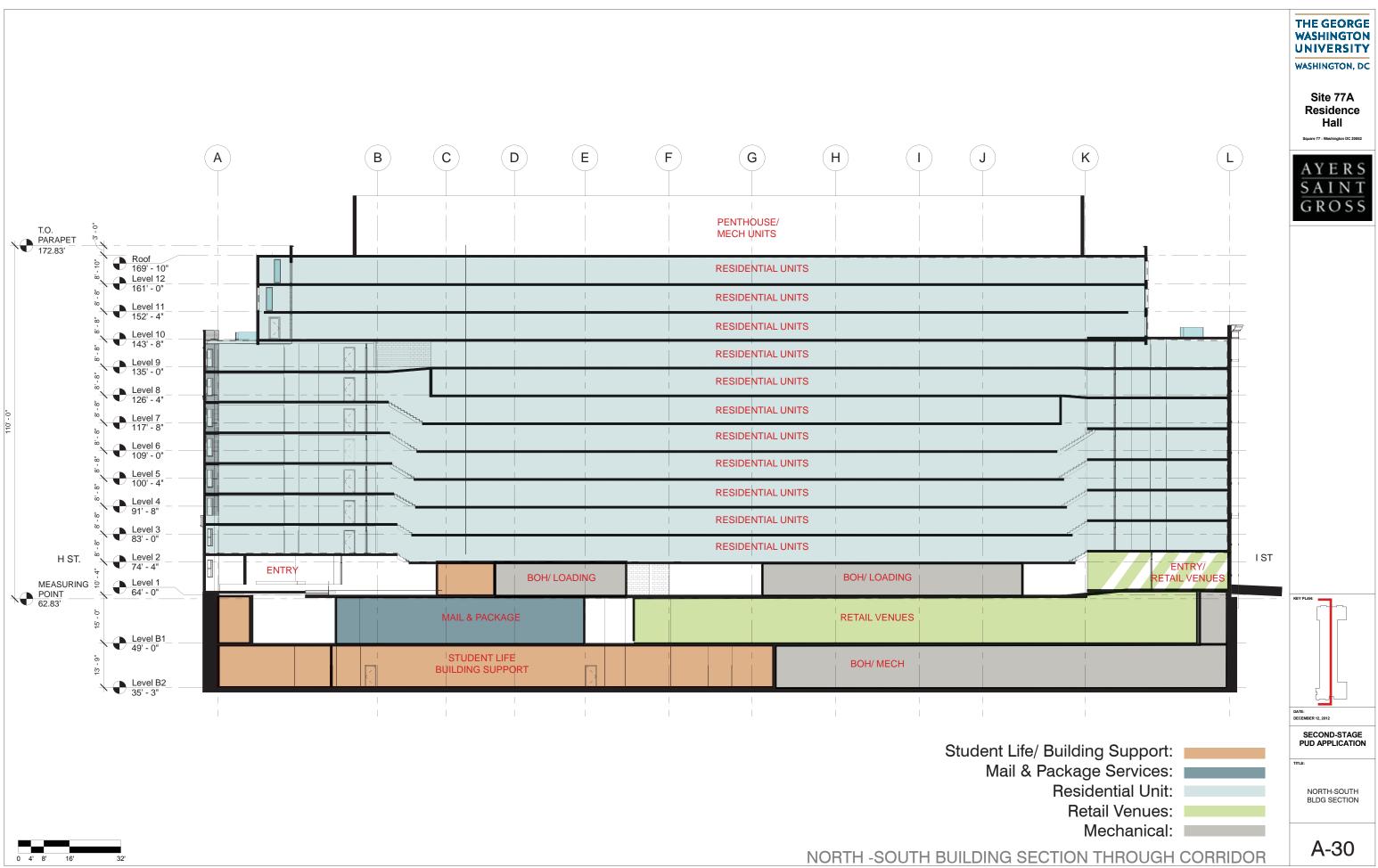
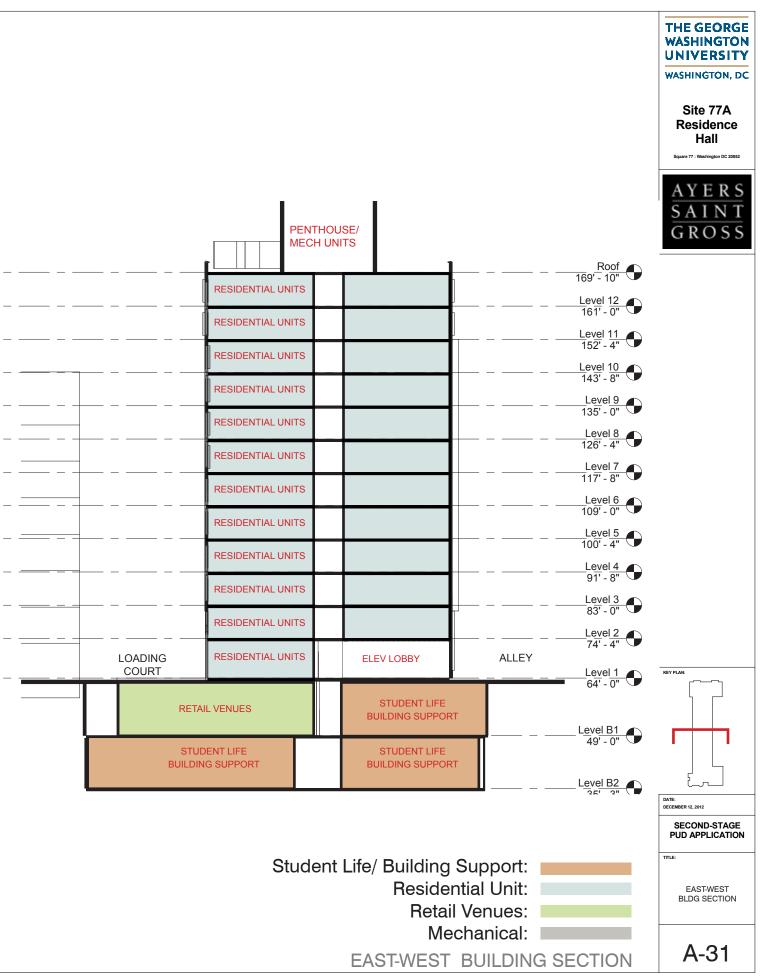


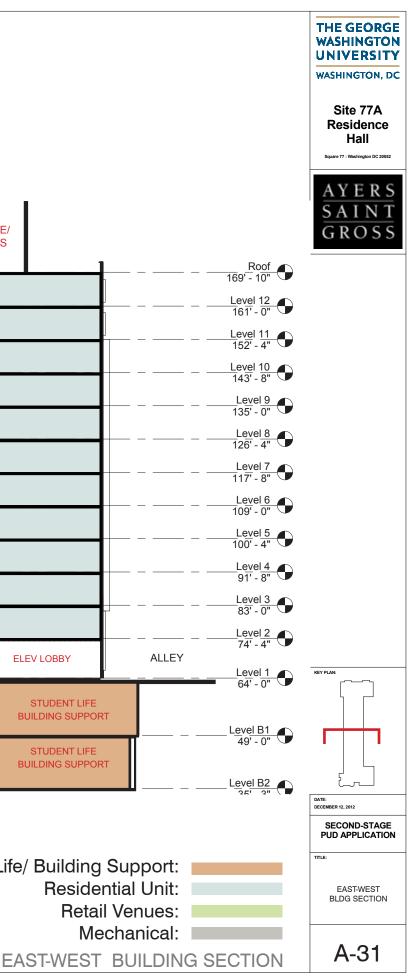
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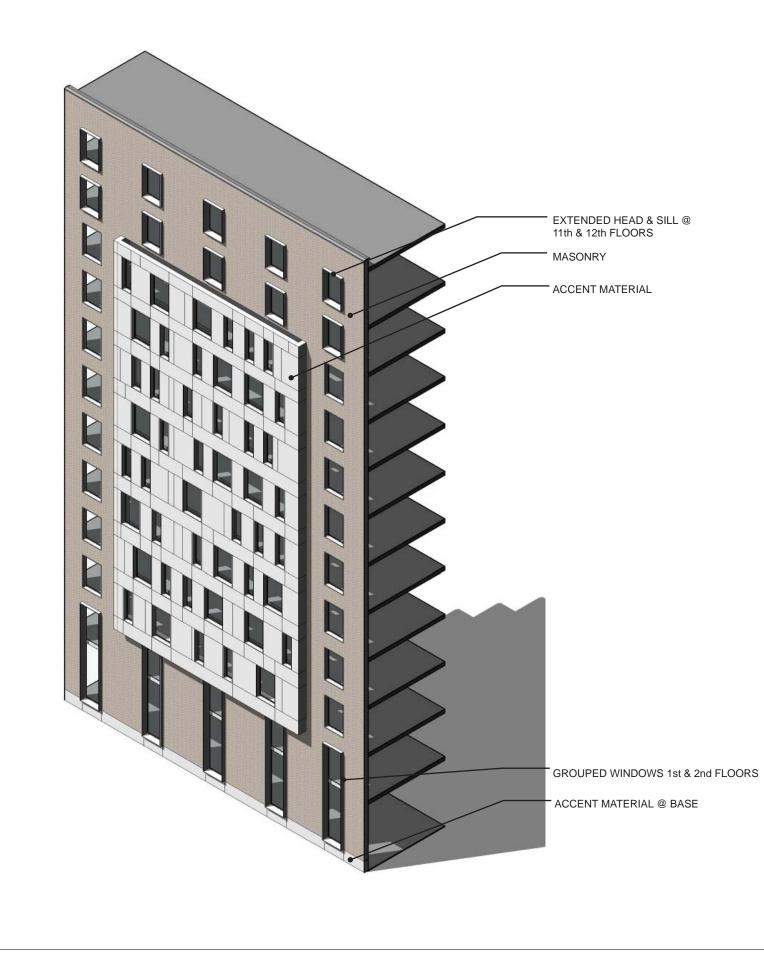
SOUTH ELEVATION



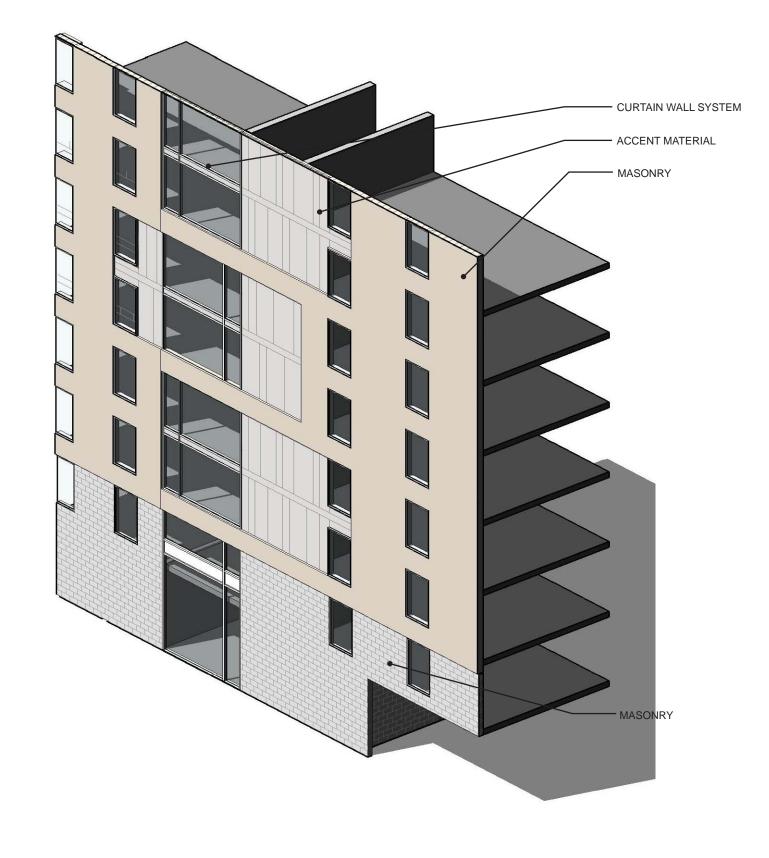


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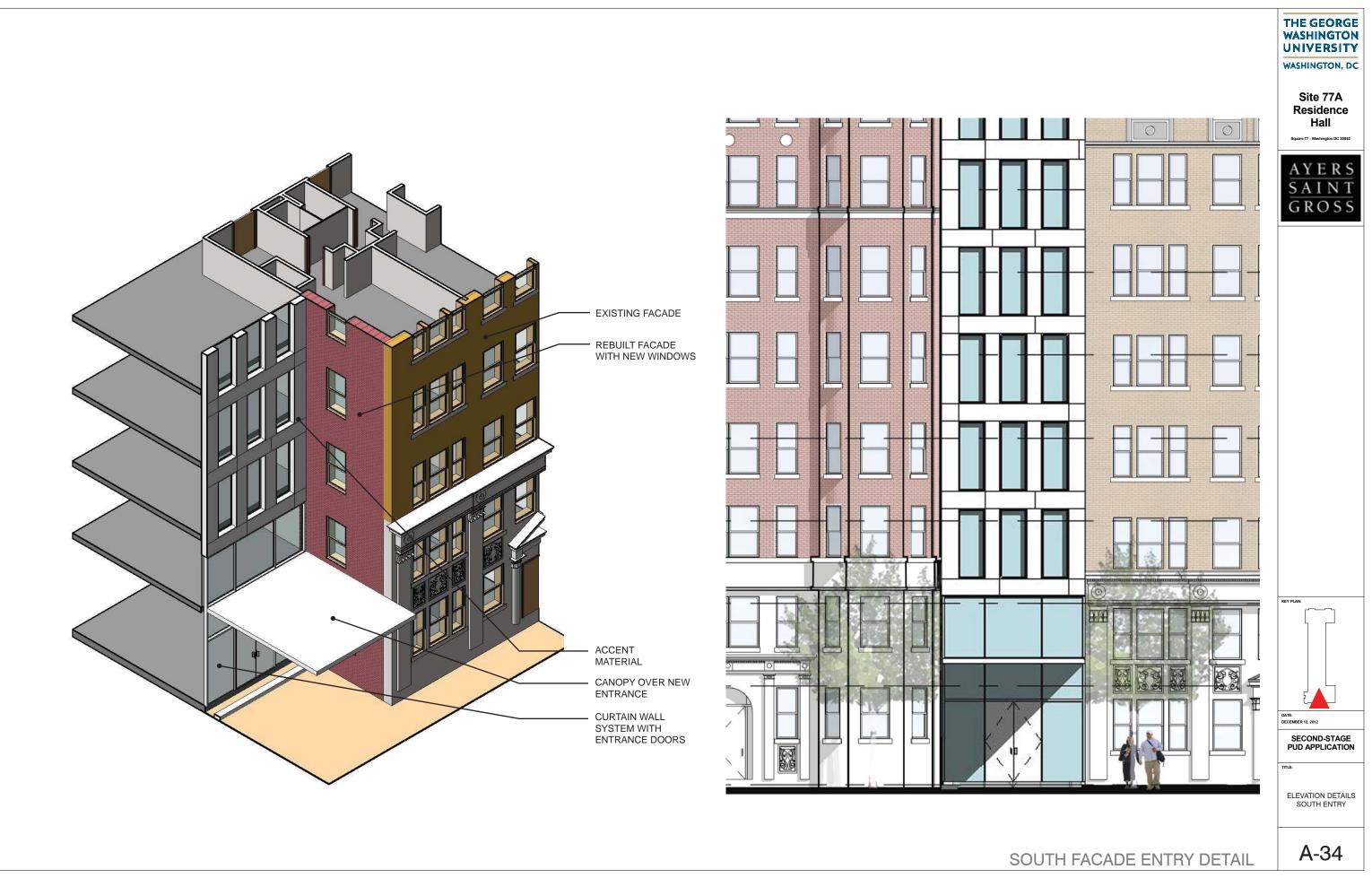


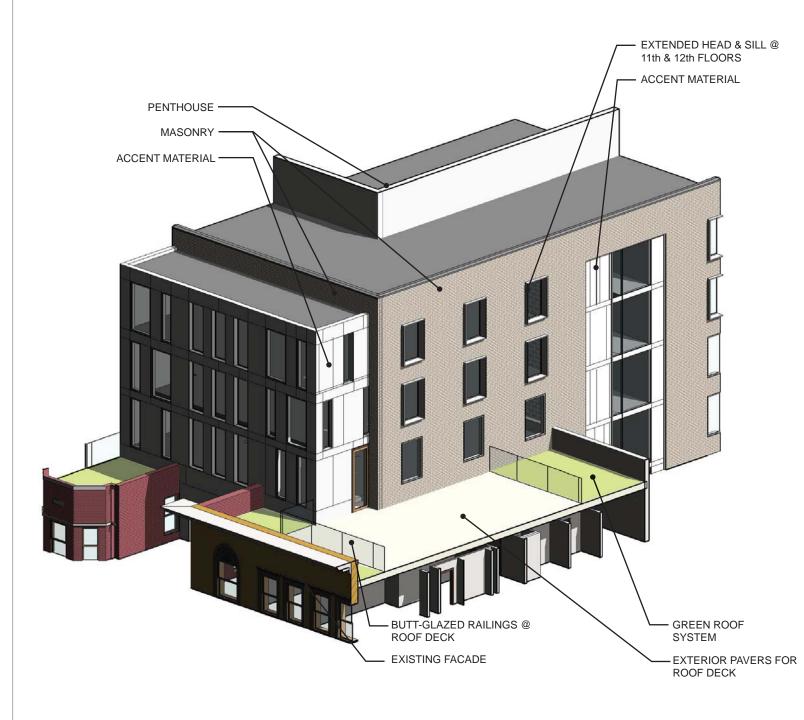


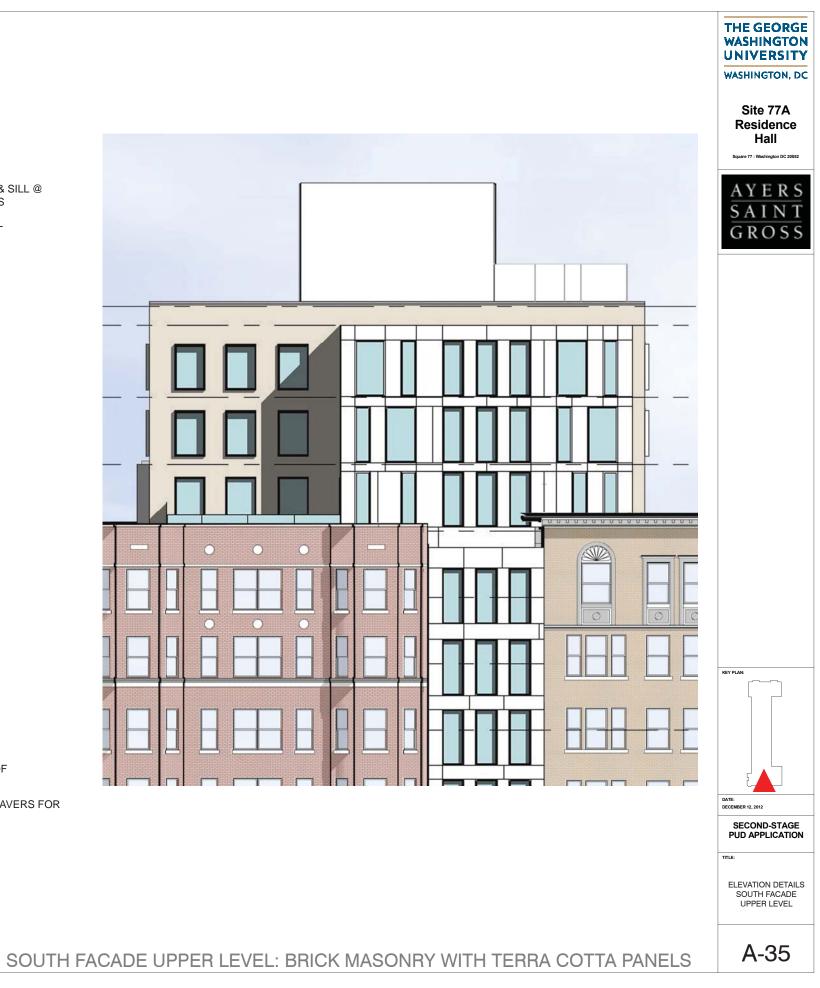








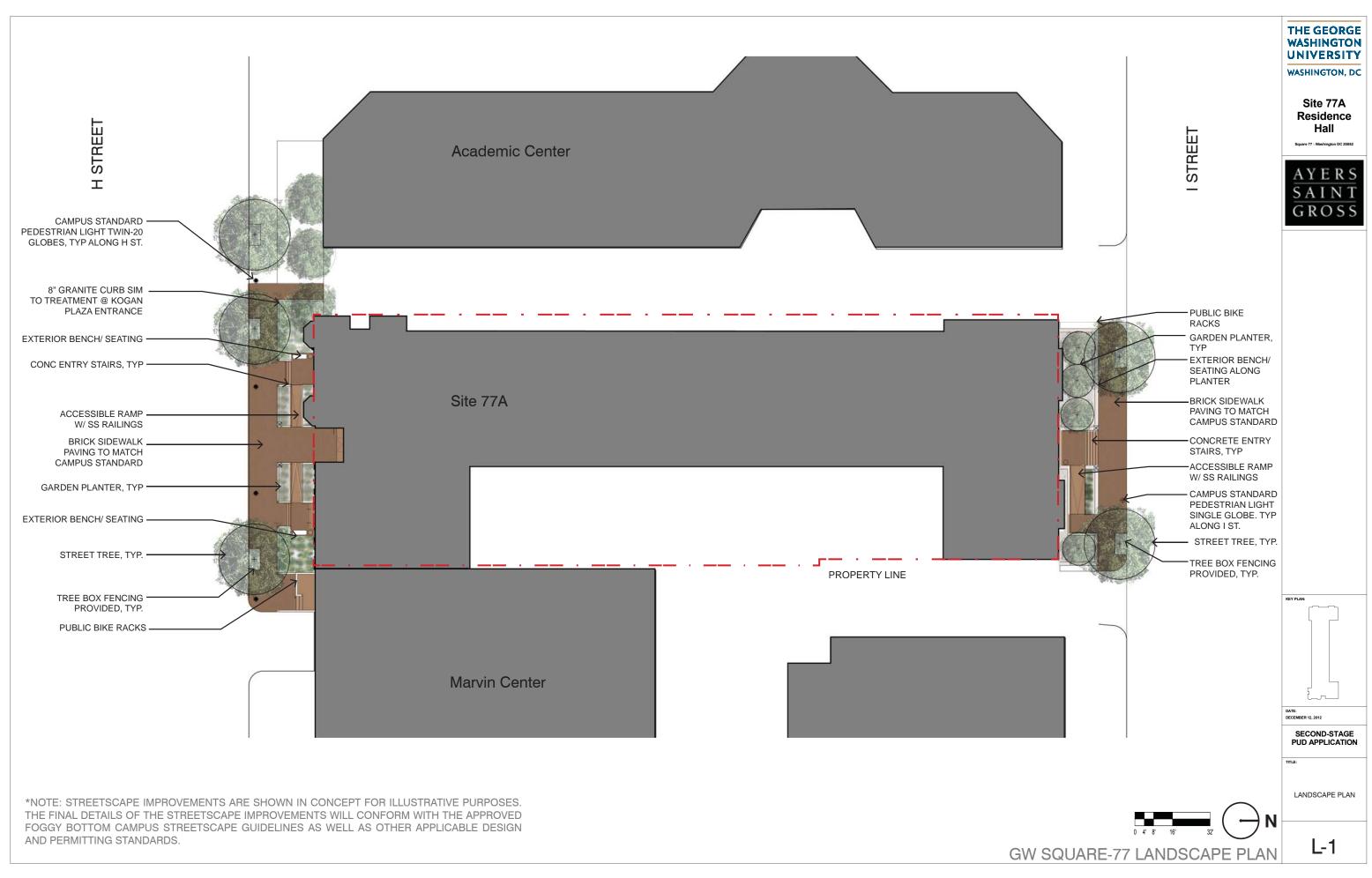




LEED-NC v3.0 Preliminary Project Checklist George Washington University - Site 77A Feasibility Study Washington, DC - Site 77A bounded by H Street, I Street, 21st Street, and 22nd Street Yes ? No

Yes ? No			
17 6 3	Sustainat	ole Sites	26 Points
Y	Prereq 1	Construction Activity Pollution F	Required
1	Credit 1	Site Selection	1
5	Credit 2	Development Density & Commu	5
1	Credit 3	Brownfield Redevelopment	1
6	Credit 4.1	Alternative Transportation, Publi	6
1	Credit 4.2	Alternative Transportation, Bicyc	1
3	Credit 4.3	Alternative Transportation, Low-	3
2	Credit 4.4	Alternative Transportation, Parki	2
1	Credit 5.1	Site Development, Protect of Res	1
1	Credit 5.2	Site Development, Maximize Ope	1
1	Credit 6.1	Stormwater Design, Quantity Cor	1
1	Credit 6.2	Stormwater Design, Quality Cont	1
1	Credit 7.1	Heat Island Effect, Non-Roof	1
1	Credit 7.2	Heat Island Effect, Roof	1
1	Credit 8	Light Pollution Reduction	1
		5	
6 2 2	Water Eff	iciency	10 Points
Υ	Prereq 1	Water Use Reduction, 20% Redu	Required
4	Credit 1	Water Efficient Landscaping	2 to 4
2	Credit 2	Innovative Wastewater Technolc	2
2 2	Credit 3	Water Use Reduction	2 to 4
12 13 10		Atmosphere	35 Points
Υ	Prereq 1	Fundamental Commissioning of	Required
Υ	Prereq 2	Minimum Energy Performance	Required
Υ	Prereq 3	Fundamental Refrigerant Manag	Required
8 11	Credit 1	Optimize Energy Performance	1 to 19
7	Credit 2	On-Site Renewable Energy	1 to 7
2	Credit 3	Enhanced Commissioning	2
2	Credit 4	Enhanced Refrigerant Managem	2
3	Credit 5	Measurement & Verification	3
2	Credit 6	Green Power	2
		0. D	44.5
5 4 5		& Resources	14 Points
Υ	Prereq 1	Storage & Collection of Recyclal	Required
3	Credit 1.1	Building Reuse, Maintain Existing	1 to 3
1	Credit 1.2	Building Reuse, Maintain 50% of	1
2	Credit 2	Construction Waste Managemer	1 to 2
2	Credit 3	Materials Reuse	1 to 2
1 1	Credit 4	Recycled Content	1 to 2
		Regional Materials	1 to 2
2	Credit 5		1102
1	Credit 6	Rapidly Renewable Materials	1
1 1	Credit 6 Credit 7	Rapidly Renewable Materials Certified Wood	1 1
12 2 1	Credit 6 Credit 7 Indoor En	Rapidly Renewable Materials Certified Wood wironmental Quality	1 1 15 Points
12 2 1 Y	Credit 6 Credit 7 Indoor Er Prereq 1	Rapidly Renewable Materials Certified Wood wironmental Quality Minimum IAQ Performance	1 1 15 Points Required
1 1 12 2 1 Y Y	Credit 6 Credit 7 Indoor En Prereq 1 Prereq 2	Rapidly Renewable Materials Certified Wood wironmental Quality Minimum IAQ Performance Environmental Tobacco Smoke	1 1 15 Points Required Required
1 12 2 1 Y Y 1	Credit 6 Credit 7 Indoor En Prereq 1 Prereq 2 Credit 1	Rapidly Renewable Materials Certified Wood Wironmental Quality Minimum IAQ Performance Environmental Tobacco Smoke (Outdoor Air Delivery Monitoring	1 1 15 Points Required Required 1
1 12 2 1 Y Y 1 1 1 1	Credit 6 Credit 7 Indoor En Prereq 1 Prereq 2 Credit 1 Credit 2	Rapidly Renewable Materials Certified Wood Wironmental Quality Minimum IAQ Performance Environmental Tobacco Smoke (Outdoor Air Delivery Monitoring Increased Ventilation	1 1 15 Points Required Required 1 1
12 2 1 Y Y 1 1 1 1 1 1 1 1	Credit 6 Credit 7 Indoor En Prereq 1 Prereq 2 Credit 1 Credit 2 Credit 3.1	Rapidly Renewable Materials Certified Wood Wironmental Quality Minimum IAQ Performance Environmental Tobacco Smoke (Outdoor Air Delivery Monitoring Increased Ventilation Construction IAQ Management F	1 15 Points Required Required 1 1
1 12 2 1 Y Y 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Credit 6 Credit 7 Indoor En Prereq 1 Prereq 2 Credit 1 Credit 2 Credit 3.1 Credit 3.2	Rapidly Renewable Materials Certified Wood Wironmental Quality Minimum IAQ Performance Environmental Tobacco Smoke Outdoor Air Delivery Monitoring Increased Ventilation Construction IAQ Management F Construction IAQ Management F	1 15 Points Required Required 1 1 1
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1 12 2 1 Y Y 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Credit 6 Credit 7 Indoor En Prereq 1 Prereq 2 Credit 1 Credit 2 Credit 3.1 Credit 3.2 Credit 4.1 Credit 4.2	Rapidly Renewable Materials Certified Wood Wironmental Quality Minimum IAQ Performance Environmental Tobacco Smoke (Outdoor Air Delivery Monitoring Increased Ventilation Construction IAQ Management F Construction IAQ Management F Low-Emitting Materials, Adhesive Low-Emitting Materials, Paints &	1 1 15 Points Required Required 1 1 1 1 1 1
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1 12 2 1 1 Y 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Credit 6 Credit 7 Prereq 1 Prereq 2 Credit 1 Credit 2 Credit 3.1 Credit 3.2 Credit 4.1 Credit 4.2 Credit 4.3 Credit 4.4	Rapidly Renewable Materials Certified Wood Wironmental Quality Minimum IAQ Performance Environmental Tobacco Smoke (Outdoor Air Delivery Monitoring Increased Ventilation Construction IAQ Management F Construction IAQ Management F Low-Emitting Materials, Adhesive Low-Emitting Materials, Paints & Low-Emitting Materials, Flooring Low-Emitting Materials, Compos	1 1 15 Points Required Required 1 1 1 1 1 1 1 1 1
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1 12 2 1 Y 1	Credit 6 Credit 7 Prereq 1 Prereq 2 Credit 1 Credit 2 Credit 3.1 Credit 4.1 Credit 4.2 Credit 4.3 Credit 4.3 Credit 4.4 Credit 5 Credit 6.1 Credit 6.2 Credit 6.2 Credit 7.1 Credit 7.2	Rapidly Renewable Materials Certified Wood Minimum IAQ Performance Environmental Tobacco Smoke (Outdoor Air Delivery Monitoring Increased Ventilation Construction IAQ Management F Construction IAQ Management F Low-Emitting Materials, Adhesive Low-Emitting Materials, Paints & Low-Emitting Materials, Points Low-Emitting Materials, Flooring Low-Emitting Materials, Compos Indoor Chemical & Pollutant Sou Controllability of Systems, Lighti Controllability of Systems, Therr Thermal Comfort, Design Thermal Comfort, Verification	1 1 15 Points Required Required 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
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STREETLIGHT

Twin-20

TWIN 20 STREETLIGHT



ULMUS ALLEE (LACEBARK ELM)





TREE BOX FENCING

BICYCLE RACK

GARDEN PLANTERS

THE FINAL DETAILS OF THE STREETSCAPE IMPROVEMENTS WILL CONFORM WITH THE APPROVED INTENT ONLY. THE PURPOSE IS TO GENERALLY DEFINE PLANT SIZE, CHARACTER, AND FOGGY BOTTOM CAMPUS STREETSCAPE GUIDELINES AS WELL AS OTHER APPLICABLE DESIGN LOCATIONS. REFINEMENTS TO THE PLANTING DESIGN AND FINAL SELECTION OF ALL PLANT AND PERMITTING STANDARDS.

*NOTE: STREETSCAPE IMPROVEMENTS ARE SHOWN IN CONCEPT FOR ILLUSTRATIVE PURPOSES. PLANT SPECIE SELECTIONS IDENTIFIED ON THIS PLAN ARE SHOWN TO ILLUSTRATE DESIGN MATERIALS CONSISTENT WITH THE SPECIES SHOWN SHALL BE DEVELOPED DURING DETAILED DESIGN PHASES OF WORK.



QUERCUS NUTTALLI - (NUTTALL OAK)



